



ANGELINE

A City in the Making



Residential Design Guidelines

August 2022

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Note: Sections will be added and updated as needed. The Master Developer reserves the right to revise and update the Design Guidelines at any time. Contact the ARB to make sure that you have the most current version.

Site plans, proposed amenities, product renderings, representative photos and other depictions are the planned intention of the Angeline lifestyle and development; however, all are conceptual by nature and are subject to change by the developer based on but not limited to regulatory approvals, marketing changes or design considerations. Metro Development Group, MetroPlaces, ULTRAFi, Streetleaf, MetroLagoons, Angeline and all logos are the property of Metro Development Group. All rights reserved. 2022.

ANGELINE COMMUNITY OVERVIEW

Anchored by a new state-of-the-art global innovation district by Moffitt Cancer Center, the 6,200-acre Angeline will be home to more than 30,000 residents with access to a community farm, 3,600 acres of green space, an extensive trail network, office, and retail, a Lagoon, onsite schools and the fastest internet service in the nation.

THE MASTER DEVELOPER

The Master Developer of Angeline is Len-Angeline, LLC.

Metro Development Group, LLC is the development manager.

RESPONSIBILITIES OF THE MASTER DEVELOPER

The Master Developer provides design and construction of the infrastructure network necessary to proceed with home construction. The infrastructure includes the following:

- Installation of public roadways.
- Installation of domestic and fire water lines, sanitary sewers and common storm water management flood control systems.
- A distribution system for telephone, high speed internet, and electric service.
- Development of common spaces such as project entrances and landscape buffers, recreational features and road rights-of-way.
- Establishment of a Homeowners' Association. During the initial development, the Association will be managed by the Master Developer.
- Creation of a Community Development District to finance, construct and maintain common areas, parks, recreational facilities, and other amenities.

DESIGN GUIDELINES OVERVIEW

All homes constructed in Angeline are subject to the review and approval of the Angeline Master Homeowners' Association through its Architectural Review Board ("ARB"). The ARB will review and approve all aspects of exterior home modifications including landscaping, patios and decks, swimming pools, screened enclosures as well as the home design.

Design Guidelines are established to ensure and implement consistent and high-quality design standards. They will serve as a framework for design concepts and provide performance and quality standards that will guide the design and construction of the variety of housing types in Angeline. The developer reserves the right to establish more restrictive Design Guidelines for individual neighborhoods within Angeline.

No exterior home modifications may be started without the ARB's approval of the building plans and specifications. The plans and specifications must meet the minimum Design Review Submittal Requirements outlined in these documents.

Enforcement of the Design Guidelines and any decisions made by the ARB shall be as per the manner described in the Declaration of Covenants, Conditions and Restrictions for Angeline Homeowners Association, Inc. In addition to those provisions, the Master Developer may assess monetary penalties against builders and homeowners that fail to follow the Design Guidelines for homes constructed on lots within the Angeline community.

The Master Developer reserves the right to revise and update the design criteria as well as the performance and quality standards at any time to respond to future community requirements as well as to new product development and innovations within the home building industry.



Review Process



ARCHITECTURAL REVIEW BOARD (ARB)

The ARB shall consist of the Master Developer or its designated reviewer until all new homes within the project have been completed or the Master Developer elects to assign its ARB responsibilities to others.

FUNCTIONS OF THE ARB

1. The ARB will evaluate all Master Plans and Elevations proposed for construction to assure conformity with the design criteria, performance and quality standards set forth in the Design Guidelines as well as compatibility with the adjoining sites and common spaces.
2. The ARB shall review and respond to each submittal in writing. Unapproved submissions shall be returned to submitter for revision and re-submittal.
3. The ARB will evaluate each of the site plans proposed for construction to ensure conformity with the design criteria, performance and quality standards set forth in the Design Guidelines as well as compatibility with the adjoining sites and common spaces. Site plans will be subject to review to ensure that massing, elevations, rooflines, garage doors, colors and landscaping are appropriate and compatible with adjoining neighborhoods and open spaces.
4. If conflicts arise between the submitted application and the Design Guidelines, the ARB shall have the sole discretion to interpret the standards and render a decision.
5. The ARB has the right to grant variances from the Design Guidelines in accordance with the Declaration of Covenants, Conditions and Restrictions (“CCR’s”).
6. The ARB has the right to monitor and oversee the design and construction process to ensure conformance with the approved plans and the standards set forth in the Design Guidelines. Each home will be inspected at or near completion where any exterior modifications are made.

DESIGN REVIEW SUBMITTAL REQUIREMENTS

Any exterior modifications must be submitted to the Architectural Review Board shall include the following:

For each application to be complete, you must include:

- A copy of your property survey with the placement of your project highlighted
 - A color photo example
 - List of colors and type of material used
 - A quote with specs from the contractor hired (if applicable).
1. Subsequent to the Master Approval or initial approval, a builder's or homeowner's submission for approval of any feature subject to these Guidelines, including but not limited to additions of a pool, screened enclosure, walks, patios, decks, and landscaping, and revisions to colors, materials, and landscaping, shall require a review fee of \$30.00 or other amounts as determined from time to time by the ARB.
 2. Notwithstanding the above formal submittal requirements, the ARB will accept and review, at no charge, informal applications, including hand-drawn sketches, if applicable, and provide comments as to general compliance with the Guidelines. The purpose of this informal review is to provide the applicant with a general sense of whether the proposed improvements are acceptable or not prior to incurring the expense of a more formal application. Regardless of the outcome of an informal review, no improvements may be implemented until the ARB has reviewed and approved a formal application made in accordance with these guidelines.
 3. All fees for design review are payable at the time of submittal to the Angeline Master Homeowners Association. The board reserves the right to take as many as (30) days to approve or disapprove any submissions.

The Architectural Review Board (ARB) shall have exclusive jurisdiction over modifications, additions, or alterations made on or to existing structures in accordance with the CCR's, and the Design Guidelines. All modification requests must be submitted through the appropriate submittal link or emailed to the community management company: Angeline@BreezeHome.com

ORDINANCE AND STANDARDS COMPLIANCE

All homes constructed in Angeline are designed, built and sold by independent home builders who are not employees or agents of the Master Developer. As such, ARB approval does not substitute for, or ensure, compliance with the requirements of all public agencies having jurisdiction over the project, including but not limited to Pasco County. Each builder and homeowner must comply with all zoning and building regulations, agreements and ordinances established by Pasco County and applicable at the time of purchase and development.

In the event of any conflict between the requirements of these Design Guidelines and the requirements of any public agency having jurisdiction over the project then the latter shall govern.

Any changes required to comply with applicable municipal codes that are subsequent to the ARB's final approval must be resubmitted to the ARB for its approval. The committee may request a meeting to discuss modifications of the drawings or the specifications.



SITE STANDARDS



The information provided in Section Two covers standards for all neighborhoods in Angeline. For additional information concerning specific neighborhood standards, please consult Section Six.

SITE STANDARDS

The Master Developer has provided a master neighborhood grading plan, in addition to other planning and implementation guidelines and procedures, to minimize alteration to the land and impact to the ecosystem. Care shall be taken to preserve vegetation, topography and the natural grades and drainage systems. This philosophy must be followed at all levels of development.

All lot grading and top of foundation elevations must be planned and constructed in accordance with the Angeline master grading plan and the Pasco County lot grading ordinances. Any deviations from the master grading plans, for any lot, must be approved in writing, in advance.

Prior to commencing clearing and construction, a silt fence must be installed on both sides of lot and at rear of lot.

BUFFER AREAS - SCREEN PLANTING EASEMENTS

Easements have been provided to buffer some adjacent roadways. No buildings, fences, driveways or permanent structures shall be constructed within screen planting easements.

TREE PRESERVATION

No trees greater than 4 inches in diameter at 5' high may be removed without the express written approval of the Architectural Review Board. Locations, sizes, and species of all existing trees must be shown on building site plans submitted for design review. Pasco County tree preservation ordinance also must be followed.



HOME CONSTRUCTION STANDARDS



DECK & PATIO INSTALLATION SPECIFICATIONS

All proposed deck/patio installations must be submitted to and approved by the ARB prior to installation unless previously part of a Master Approval.

The following information must be included with each submittal:

- A digital copy of a site plan with the house footprint indicating the exact location, size, and distance from side and rear property lines of the proposed deck/patio installation. Hand drawn sketches of lot boundaries are not acceptable.
- The complete dimensioned construction details of the deck/patio including size, type of lumber and other materials, finish, style, height from ground to baseboard, and vertical elevation details of all railings, seats, privacy walls and stairs.

If relevant for patio enclosures, see also SCREENED ENCLOSURES.

No front yard patio, decks or lanai extensions are permitted.

Material Requirements: Approved deck materials are pressure-treated pine, redwood, cypress and ultra-violet resistant PVC. Patios must be of concrete, brick or interlocking paver materials.

Color Requirements: Wooden decks must be left natural or stained in clear or wood tone colors only. Painted decks must match the main exterior color of the house or be painted white. Submit a color sample for PVC decks. Patio concrete, paver or brick material colors should complement the house's main exterior color.

No deck/patio construction is allowed to extend into a screen planting easement or required side setback. No deck shall be constructed within five (5) feet of a rear lot line. Decks more than 18" above grade must have lattice screening under the deck.

EXTERIOR LIGHTING

Exterior lighting can convey a warm, inviting atmosphere and aid in providing night-time security without annoying others. Selections and placement of fixtures and light source types should be done with care, and not cause unnecessary light spill, distraction or nuisance.

Exterior lighting should be directed to illuminate house numbers as well as architectural features of the home. Decorative fixtures should be in scale and style in relation to the elevation. No colored light sources shall be allowed unless seasonal or temporary in nature.

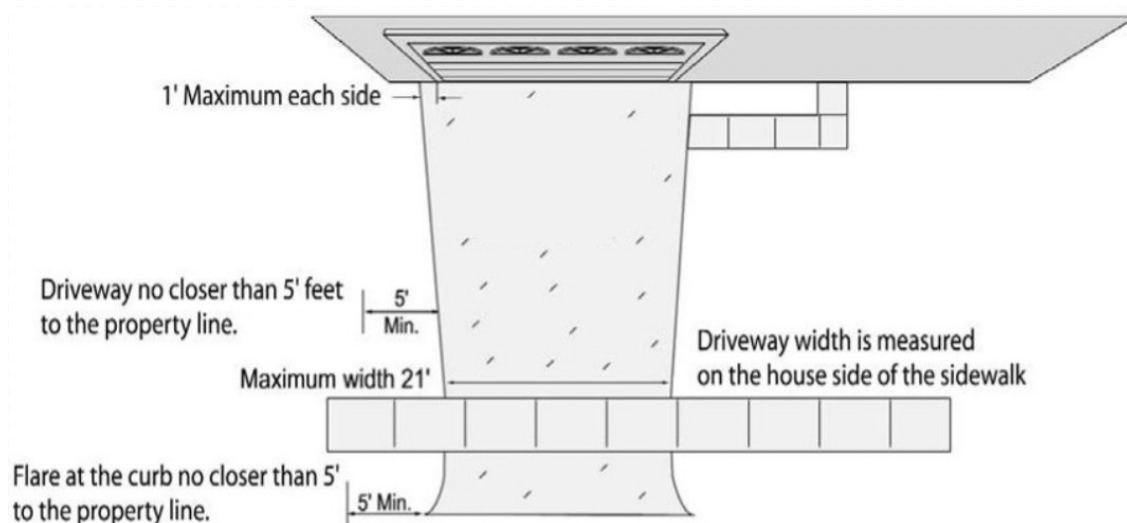
DRIVEWAYS

Driveway width shall be no more than width of garage door(s) plus two (2) feet [one-foot maximum on each side of door(s)] as measured at the house.

Homes constructed with three-car garages in Angeline shall have driveway widths of no more than twenty-four (24) feet as measured on the house side of the sidewalk. The intent of this provision is to provide a “tapered” edge leading to the three-car garage to minimize driveway pavement adjacent to the sidewalk. Any proposed side-load or carriage-load garages and driveways will be subject to the review and approval of the ARB.

A minimum five (5) foot buffer between the edge of pavement and the property line must be provided. Flares at curb are required for ease of driver when entering driveway. Edge of driveway pavement, (excluding standard flares at the curb,) shall be at no time closer than five (5) feet to the property line.

All driveway surfaces may be broom-finished concrete, interlocking brick pavers, or stamped concrete. No mulch or blacktop asphalt driveways will be allowed. Approval of brick paver or stamped concrete driveway is contingent upon design and material approval.



GARAGE DOORS

Garage doors shall be equipped to accommodate automatic garage door openers. At the individual builders discretion will an automatic garage door opener be provided to the resident with the purchase of their home. All garage doors must be paneled and/or provide window relief. No exterior screens, nets or coverings are permitted over garage doors.

PARKING

No boats, trailers, or recreational vehicles of any kind shall be allowed to be stored outside the residence on the lot. Exterior parking pads constructed of any material, whether in front yards, side yards or rear yards are strictly prohibited throughout Angeline. Any of the prohibited vehicles described above may only be kept in the community if they are stored in the garage with the garage door closed.

SIDEWALKS

Entry walks to home must commence at the driveway and terminate at the front door/porch and not terminate at a public sidewalk.

MAILBOXES AND HOUSE NUMBERS

The United States Postal Service will provide delivery of mail to a centrally located kiosk with a cluster of individual mailboxes.

A house number will be located on each home as directed by Pasco County.

POOLS, SPAS, AND ENCLOSURES

Pools and spas shall be located with respect to the main structure and shall not extend beyond the side walls of the home. Features such as existing trees, noise from pool equipment and views from adjacent properties can seriously impact the usage and enjoyment of pools and spas and shall be carefully considered before final placement is selected.

No swimming pools, spas or hot tubs shall be located above ground. However, above-ground hot tubs of a size that does not exceed 12' X 12', may be considered by the ARB, but only if the hot tub will be located entirely within a rear screen enclosure.

All pool and spa equipment shall be screened so that it is not visible from any street, common area or adjacent property. Screening or buffering providing 100% opacity may be accomplished using walls or PVC fencing along with landscape materials.

Landscape materials alone may be utilized if there is 100% opacity.

Pools shall be enclosed by a screened enclosure or may be fenced with PVC fencing material. Fences must meet local ordinances and the design guideline requirements enumerated in SECTION FOUR.

The installation of pools at homes on corner lots is allowable. However, installation of pools on corner lots will be considered by the ARB on a case-by-case basis.

Screened Enclosures: The preferred pool screen enclosure is a charcoal screen material with a bronze or black frame. Mill-finish aluminum and white frames are prohibited unless specifically approved by the ARB. No aluminum roofing or sheet metal panels will be permitted. Flat roofs will not be allowed. Pitch of screen roof shall be shown on preliminary plans and shall be subject to approval of the ARB.

Pool enclosures cannot exceed one story without prior ARB approval. Pool screened enclosures must not be visible from the street in front of the residence.

Landscaping must be incorporated to help modulate and soften the overall appearance of the screened enclosure. Front patio or front entryway screen enclosures are **not** permitted.

ROOFS

All front elevations shall have a minimum of two roof breaks.

Mansard and flat roofs will not be allowed. Pitch of roof shall be shown on preliminary plans and shall be subject to approval of the ARB. All required roof breaks and major roof ridgelines shall be a minimum pitch of 5:12. The major roof ridgeline shall be defined as the overall ridgeline as viewed from the front and both sides of the residence in elevation view. Minor roof pitches less than 5:12 will be considered by the ARB provided:

- The reduced roof slope encompasses not more than a maximum of 30% of the total roof area, and
- The reduced slope does not encompass any of the required roof breaks and major roof ridgelines as described above other than that portion of the roof that slopes towards the rear of the lot.

Major roof ridgelines that terminate in a gable end condition at the rear of the home are not permitted adjacent to any collector roadway. Variations on specific designs may be used with ARB approval. The minimum soffit depth of twelve (12) inches is required with a minimum of a 4-inch fascia trim.

The minimum roof standard will be a 25-year dimensional/shadow profile composition shingle in earth-tone colors. No 3-tab shingles are allowed.

All roofs shall be of a material, color and texture approved by the ARB. Standing-seam metal roofs with baked-on color finish may be used sparingly for architectural accent. All roof vents, plumbing stacks, flashings and metal chimney caps shall be painted to match the approved roof colors. Efforts should be made to place all vents and plumbing stacks on rear slopes of the roofs whenever possible.

ARCHITECTURAL STYLES & GUIDELINES

The information provided in SECTION THREE covers standards for all neighborhoods in Angeline. For information concerning specific neighborhood standards, please consult SECTION FIVE.

The goal at Angeline is to create a community expressing variety and diversity in style, form, color, and materials, while maintaining the informal connection to nature that makes Angeline unique. To achieve this goal and maintain a high standard of quality, the following general requirements shall apply to all residential architecture:

- Architectural styles appropriate for Angeline include Florida Contemporary as well as designs inspired by Cracker, Craftsman and Farmhouse styles. Proposed plans shall reflect the massing, roof pitches and architectural elements appropriate to the selected style.
- Elevations that include visual breaks in materials and/or roof lines add interest and are strongly encouraged. Wide roof overhangs and covered porches also are encouraged.
- Plans should have a minimum 9' first floor plate height.
- Front doors should be 8' high or 6'8" with a transom or sidelight.
- Exterior material changes should be made at an inside corner, or other logical termination point, to prevent a tacked-on, low quality, thin veneer appearance. Veneer treatments should "wrap" corners with logical termination or at least 2 feet.
- Shutters shall have a minimum thickness of 1 ½ inches at exposed edges and the shutter width and height shall be proportionate to the window opening in both height and width.
- Window heights, widths and depths shall be in keeping with the architectural style selected. Window casing must be dimensional and not flush with the window. Window banding is required on all elevations for each home. The proportion of window areas is a key focus of the Architectural Review Board.
- Front elevations for attached product should be set on different planes to create visual interest.
- The minimum roof standard will be a 25-year dimensional/shadow profile composition shingle in earth-tone colors. No 3-tab shingles are allowed.

BUILDING LAYOUT AND WIDTHS

Housing units shall be sited and oriented to best take advantage of views and open space. View orientation towards other units shall be avoided wherever possible.

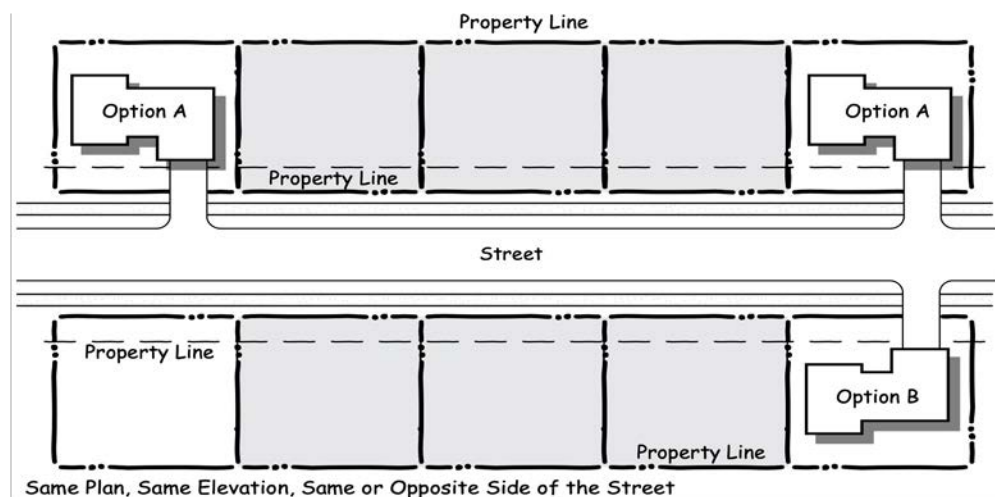
Important: Staggering front building setbacks eliminates a regimented and monotonous streetscape. **No two homes in a row can be at the front build line.** Staggering portions of the facades of individual units is also encouraged to achieve a similar effect.

The maximum widths of single-family detached residences and villas are determined by the side setback requirements that appear in SECTION FIVE: ANGELINE NEIGHBORHOODS. Generally, given the proposed variety of lot sizes and housing product, it is expected that the majority of single family houses will be built to the maximum width allowed on each lot. Houses up to 8 feet narrower than the maximum allowed width may be approved at the discretion of the ARB. In doing so, the ARB may require an enhanced front elevation and additional landscaping at the front corners of the house to visually expand the front elevation.

MONOTONY CONTROLS

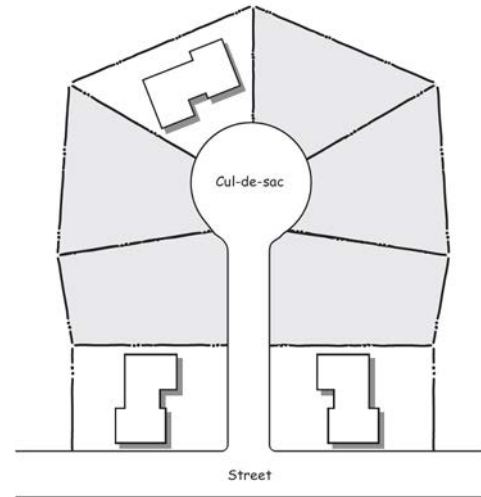
Housing types or styles should not be repetitive from lot to lot along the neighborhood street. Rather, a variety of house elevations are encouraged. The monotony controls exist to prevent duplicate houses from being built near each other. Houses shall be required to have sufficient differences in both front elevation and color schemes which, in the opinion of the ARB, make them significantly different from each other. They are not designed to preclude all similarities between properties.

Exhibit:
Same Plan,
Same Elevation



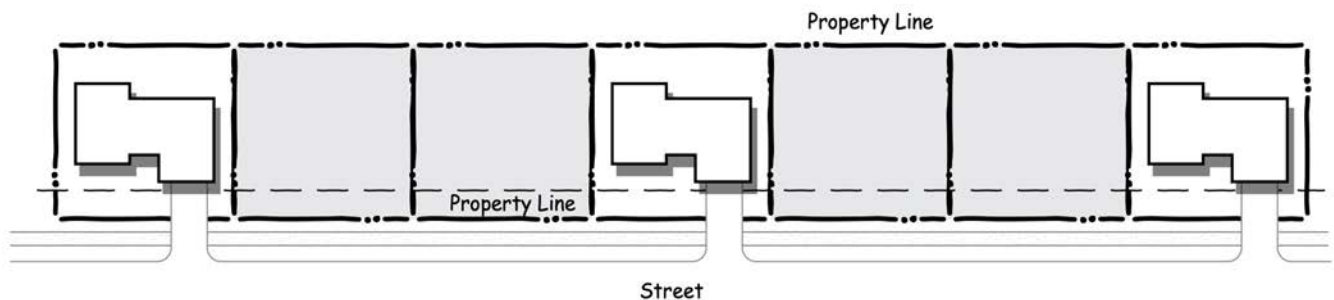
Cul-de-Sacs:

On cul-de-sac circles, the same plan/elevation may only be repeated twice, and may not be immediately adjacent, diagonal, or directly across from each other.



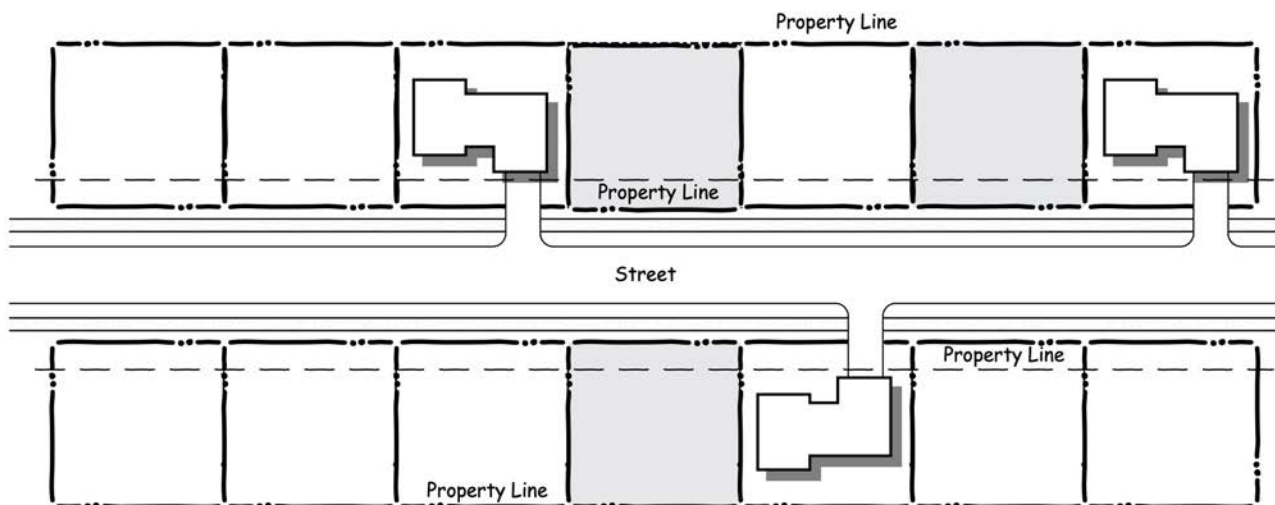
Different Elevations/Same Plan:

When building different elevations of the same plan on the **same side** of the street, two (2) full lots must be skipped before repeating the same plan.



Same Plan, Different Elevation, Same Side of the Street

When building different elevations of the same plan on the **opposite side** of the street, one (1) full lot must be skipped before repeating the plan.



Same Plan, Different Elevation, Opposite Side of the Street

BUILDING HEIGHTS

The height of single-family detached residences shall be a maximum of thirty-five (35) feet. Residences shall not be more than two-stories. Trees of suitable height shall be planted near the building to help provide the proper vertical scale relationship.

BUILDING AND STRUCTURE PROJECTIONS

All projections from a residence or structure including, but not limited to, gutters, downspouts, and utility boxes, shall match the color of the surface from which they project or shall be of a compatible color subject to approval of the Architectural Review Board.

BUILDING MATERIALS AND COLOR

Exterior surfaces will be generally of natural materials that blend and are compatible with the natural Central Florida landscape. Wood, cementitious material such as Hardie board, and masonry such as brick, stone, split rock, or stucco may be used but are subject to approval by the ARB. The ARB may require a sample of any exterior materials. No plywood, vinyl, T-111 or aluminum siding will be approved on any area of the house, however the ARB will consider new construction materials and technologies.

Proposed exterior colors should be driven by the selected architectural style. Florida Contemporary designs generally will require earth tones. Cracker and Farmhouse designs often are light in color or white. Craftsman-inspired designs may utilize colors inspired by nature.

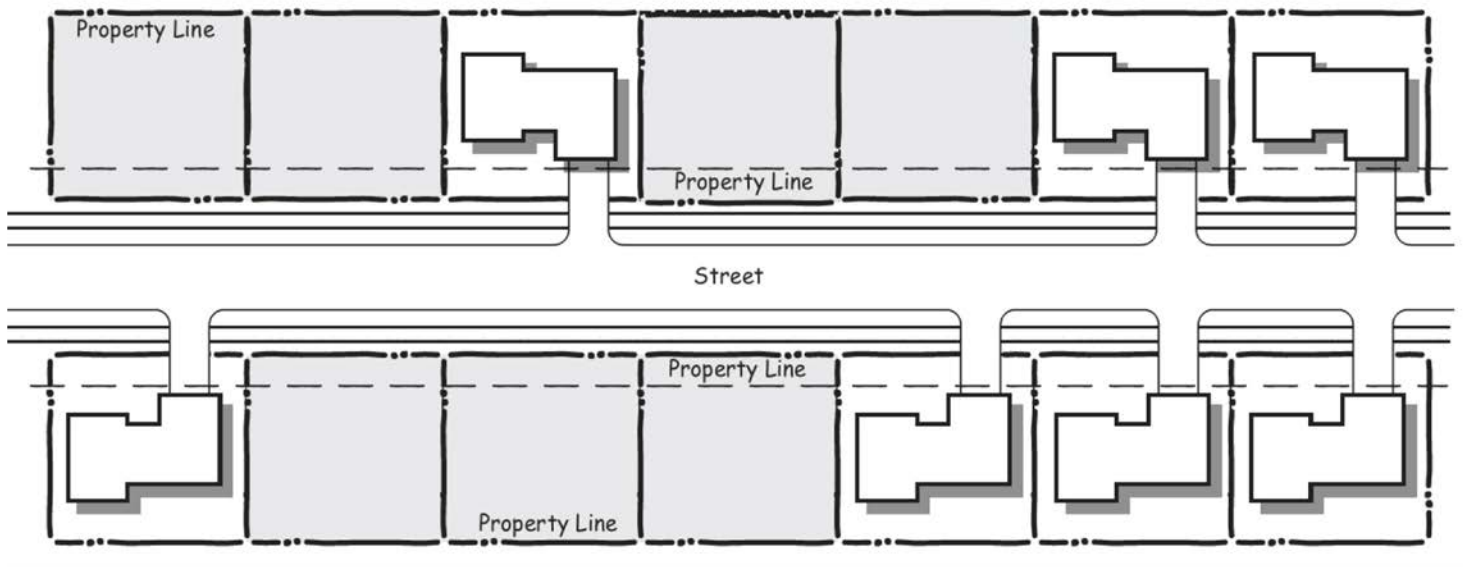
The number of primary materials on the exterior will be limited to three (3), not including roof shingles, unless approved by the Master Developer.

For townhomes, each unit should vary in color to create differentiation between units. Additional trim colors and front door colors are encouraged. Accent colors used with restraint may be approved by the ARB upon submittal.

BUILDING MATERIALS AND COLOR

For Single Family Homes, similar primary colors or color schemes must adhere to the following rules:

- May not be immediately adjacent on either side or across the street
- Same side of the street: must have two lots between similar primary colors or color schemes
- Opposite side of the street: must have one lot between similar primary colors or color schemes



A Materials & Colors Notebook must be submitted for all exterior colors proposed for the residents, including roof, exterior walls, trims, doors, enclosures and structures, for review and approval by the ARB prior to construction. Samples must be identified by the manufacturer's code. All gable ends shall be constructed of materials compatible to the house.



LANDSCAPING

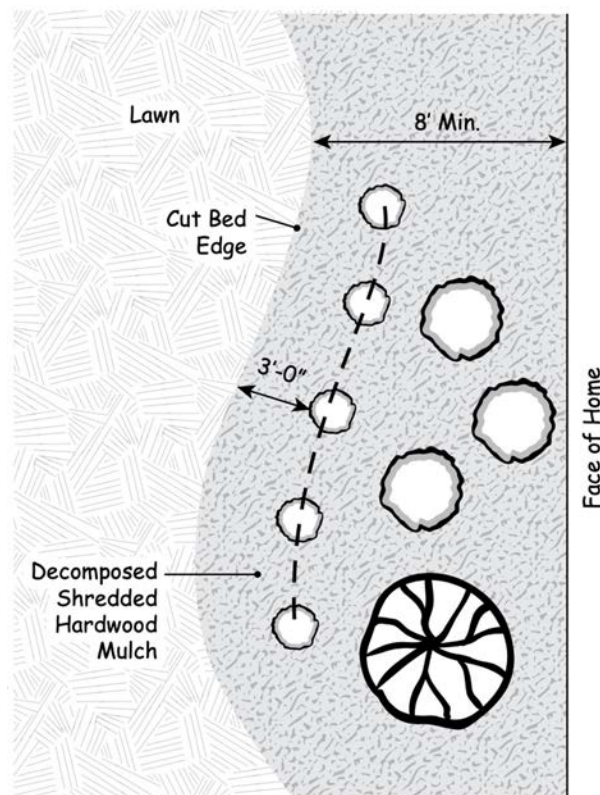


LANDSCAPING

Landscape Architecture of each homesite is extremely important for the maintenance of a visually attractive community and investment protection of the homeowners. To ensure the overall beauty of the community, landscape plans must be submitted to the ARB for review and approval. Curvilinear plant beds are strongly encouraged as depicted in the illustration below.

It is the intent of the ARB to promote the use of mature landscape materials in sufficient abundance to establish aesthetically pleasing neighborhoods. The use of such materials provides Angeline with the appearance of an established, enduring community. In addition, Pasco County and the Southwest Florida Water Management District promote the use of Xeriscape-type or "Florida Friendly Landscapes". These are "quality landscapes that conserve water, protect the environment, are adaptable to local conditions and are drought tolerant."

Typical interior and corner landscape plans for each lot size will be submitted for review and approval by the ARB. All landscaping and irrigation shall be designed and installed in accordance with the "Pasco County Landscaping and Irrigation Ordinance" and "ARB Landscape Guidelines."



LANDSCAPE STANDARDS

Tree Requirements: The quantities of canopy trees and understory trees are based upon the standard lot size within a neighborhood and are located within SECTION FIVE: ANGELINE NEIGHBORHOODS.

Trees shall be nursery grown and not field collected. Winter-dug, balled and burlap wrapped trees or containerized trees will be acceptable. No grow bag or bare root trees will be accepted. All trees and shrubs shall be Florida grade No.1, or better, according to the "Grades and Standards for Nursery Plants," Parts I and II, State of Florida, Department of Agriculture and shall conform to American Association of Nurserymen standards for nursery stock.

Trees of suitable height shall be planted near the building to help provide the proper vertical scale relationship. Minimum size for canopy trees is 4-inch caliper, 14-foot to 16-foot height (minimum) by 6-foot to 7-foot spread (minimum) with a full canopy and straight trunk. Understory trees shall be 10 feet to 12 feet in height by 5-foot to 6-foot spread typical, however smaller accent trees may be approved by the ARB upon review of the Landscape Plan. Trees shall be measured for caliper size six inches (6") above finished grade.

Shrubs and Ground Covering: Although the majority of the landscaping will be placed in the front of the residence, the ARB will be looking for moderate landscaping in all rear yards, on the street side of corner lots, and along the sides of the home as well as any screened enclosures. Minimum size for shrubs shall be 3-gallon container size with a height of 24". Accent shrubs must be a minimum of a 7-gallon container size. Minimum size for groundcover is a 1-gallon container and the minimum is a 4-inch pot for annuals.

Spacing: Spacing of trees and shrubs shall be based on good horticultural practice and industry standards allowing for future growth of the plant materials with the maximum spacing for most shrubs being 30 inches to 36 inches on center. Spacing for hedges and screens may be 24 inches to 30 inches on center. Typical spacing for ground cover is 18 inches on center with 24 inches maximum.

Sod Requirements: The front yard and any other irrigated portions of the lot shall be sodded with St. Augustine "Floritam". Corner lots must always have St. Augustine "Floritam" sod installed along the street sides of the lot. Argentine Bahia sod is recommended for use the non-irrigated portions of the lot, and in swales and low areas retaining water to provide turf areas that are more drought tolerant and require less irrigation. Only solid sod shall be installed. No seeding, plugging or sprigging will be allowed.

Attached Product: For attached product, areas smaller than 3' wide must incorporate much, rocks, or groundcover plants.

Mulch: Dyed or artificially-colored mulch is prohibited. Pine bark mulch or pine straw is recommended. Mulch should be installed at a minimum of a 3" layer.

Stones: White, marble chips and natural color stone are permitted in the plant beds.

Lots on Neighborhood Entry Roads: The ARB requires additional landscaping along the borders of lots along neighborhood entry roads.

Street trees: The species of street trees will be as directed by the construction plans. Street trees shall be at a minimum size of 3-inch caliper, 14-foot height (minimum) and 6-foot spread (minimum) with a full canopy and straight trunk. No low forks will be accepted on street trees. There shall be no tolerance with regard to under sizing street trees. Undersized trees shall be removed and replaced as required by the ARB. Trees shall be measured for caliper size six inches (6") above finished grade. Street trees shall be planted every forty linear feet (40') of roadway frontage or as mandated by current Pasco County Ordinance.

Acceptable street tree replacements include: Live Oak, Winged Elm, Eagleston/Dahoon Holly, Florida Maple or Southern Magnolia.

Tree Removal: No existing trees greater than four (4) inches in diameter at chest height (5') shall be removed or cut without the approval of the ARB. Tree removal permits must be obtained in accordance with Pasco County regulations. Builders and homeowners shall comply with the "Pasco County Tree Protection and Restoration Ordinance."

Prohibited Plant Material: The following trees and shrubs are prohibited in Angeline:

<u>Botanical Name</u>	<u>Common Name</u>
Casuarina equisetifolia	Australian Pine
Melaleuca leucadendron	Punk Tree
Schinus terebinthifolius	Brazilian Pepper
Melia azedarach	Chinaberry
Dalbergia sissoo	Rosewood
Fruit Trees	

The use of citrus trees is discouraged. A maximum of one citrus tree per lot may be considered by the ARB on a case-by-case basis and only for installation in rear yards. A detailed plan must be submitted showing the location, species, and size of citrus tree. In no event will more than one citrus tree be permitted on a lot, and if approved, must be planted a minimum of ten (10) feet from any lot line.

IRRIGATION

All residential homesites shall have installed an underground, fully automatic, 100% coverage irrigation system utilizing micro-irrigation for 50% of the on-site green-space.

The "Florida Irrigation Society" (FIS) Standards (3rd Edition, February 1996, as amended), which is incorporated herein by reference, should be used for all irrigation design and installation procedures, except where the requirements of the Pasco County Ordinances supersede the FIS standards.

Irrigation of landscaping on all residential homesites shall be accomplished using reclaimed water if available. NOTE: Well water may be used for irrigation purposes on all common areas owned by either the CDD or the HOA. Strict adherence to Angeline irrigation guidelines and Pasco County rules regarding usage is required. Check proposed plant materials for compatibility when reclaimed water is being used for irrigation.

In accordance with the Pasco County Ordinances, a maximum of fifty percent (50%) of the on-site green-space (landscaping and turf grass areas) shall be allowed to utilize irrigation techniques other than micro-irrigation. The irrigation system shall be designed to accommodate separate landscape plant zones based on differing water requirements. Sprays and rotors shall not be combined on the same irrigation zone. Turf areas shall be on separate irrigation zones from other landscape plant zones.

All systems for residential homesites shall be designed to avoid over-spray, runoff, or other similar conditions where water flows onto or over adjacent property, non-irrigated areas, walkways, roadways, structures, or water features. Narrow areas such as planting beds along the sides or rear of the home shall not be irrigated unless micro-irrigation is utilized. It is recommended that street trees and canopy trees be provided with micro-irrigation coverage on a separate zone for optimum controlled watering time.

Irrigation control equipment shall include an operable and functioning automatic irrigation controller (time-clock) having program flexibility such as repeat cycles and multiple program capabilities. Automatic irrigation controller(s) shall have battery backup to retain the time and irrigation program(s). Automatic irrigation control systems shall be equipped with an operable and functioning rain sensor device with automatic shut-off capability. The rain sensor device shall be placed where it is exposed to unobstructed natural rainfall.

FENCING

The design criteria for fencing has been established to allow a more uniform and pleasing look throughout each neighborhood. To preserve the views of neighboring homes, fence styles and heights are restricted. Privacy fencing and containment fencing are permitted in Angeline but must meet the ARB requirements listed below.

All proposed fence installations must be submitted to and approved by the ARB prior to installation unless already the subject of a Master Approval. Fence location shall be submitted along with the Site Plan and will be reviewed with the Site Plan. The Site Plan will not be approved without the fence location.

No fences will be permitted in the front yard.

Fences may not be placed over any CDD drainage and/or access easement, or any utility easements.

Fence requirements in Angeline may be more restrictive than those contained in Pasco County fence ordinance. The Angeline fencing design guidelines will prevail in such instances.

The ARB reserves the right to modify fencing requirements within each neighborhood particularly for townhomes.

Privacy Fencing: Privacy Fencing shall be solid-wall PVC fence that is constructed from high-quality materials, stabilizers and modifiers throughout the entire extruded profile. No PVC co-extrusions or vinyl-clad wood products will be permitted.

For community uniformity, all Privacy Fencing in Angeline will be Almond in color, unless otherwise approved by the ARB.

Privacy fencing shall be the style depicted in the photo, embossed or regular. It must be six (6) feet in height except as noted. All post caps are to be traditional style caps.



Locations for Privacy Fencing

1. Privacy fencing allowed as side and rear yard fencing:
 - a. Rear yard privacy fences are permitted primarily where one homesite adjoins another homesite back-to-back or a homesite is located along the outer perimeter of Mirada. Rear yard privacy fences are specifically prohibited on homesites where the rear yard abuts any form of open space, including but not limited to ponds, parks, buffers, trails, wetlands and conservation areas.
 - b. All homesites may have privacy fences as side yard fencing, although homesites not eligible for rear yard privacy fencing have additional restrictions as detailed below.
 - c. Side yard privacy fencing shall begin a minimum of fifteen (15) feet behind the front plane of the home as measured from the front corner of the house on the side the fence is being installed. If the home site is not eligible for rear yard privacy fencing, the privacy fence shall transition from privacy to containment-style fencing and the transition shall take place over the last six (6) foot section of the side privacy fence and shall slope from six (6) feet to four (4) feet to intersect with the style of four (4) foot tall picket fence to be used along the back-fence line abutting the common space. If the fence is visible to other homesites, roadways or common areas, landscape buffering is required on the exterior side of the fence to soften its appearance.
 - d. If the home site is not eligible for rear yard privacy fencing, the transition from four (4) foot high rear containment fence to six (6) foot high side privacy fence shall occur over the last six (6) foot long section of the side fence as measured from the rear property line, or the rear fence line if placed within the rear property line.
 - e. If the rear fence line is four (4) foot high black aluminum, the first six (6) foot long section of four (4) foot high side fence must also be four (4) foot high black aluminum fence.
2. Fence locations on corner lots may be further restricted due to side yard visibility constraints, side yard setback restrictions, and the location of homes on adjoining property. Side yard fences on corner lots MUST be located to the inside of the innermost boundary of any utility, technology or other easements located on the lot. Side yard fencing on corner lots must be set back at least ten (10) feet from the public sidewalk abutting the side of the lot. Corner lots will be handled on a case-by-case basis. If the fence is visible to other Angeline homesites, roadways, or common areas, landscape buffering will be required per ARB guidelines.

Locations for Privacy Fencing: Privacy fencing is permitted as allowed as side and rear yard fencing.

Rear yard privacy fences are permitted primarily where one homesite adjoins another homesite back-to-back or a homesite is located along the outer perimeter of Angeline. Rear yard privacy fences are specifically prohibited on homesites where the rear yard abuts any form of open space, including but not limited to ponds, parks, buffers, trails, wetlands and conservation areas.

All homesites may have privacy fences as side yard fencing. All side yard fences shall start fifteen (15) feet behind the front plane of the house. If the home site is not eligible for rear yard privacy fencing, the transition from four (4) foot high rear containment fence to six (6) foot high side privacy fence shall occur over the last six (6) foot long section of the side fence as measured from the rear property line, or the rear fence line if placed within the rear property line. Fence locations on corner lots may be further restricted due to side yard visibility constraints, side yard setback restrictions, and the location of homes on adjoining property. Corner lots will be handled on a case-by-case basis. Homeowners may request specific information on corner lot setbacks prior to submittal of a plan.

If the fence is visible to other Angeline homesites, roadways, or common areas, landscape buffering will be required to soften its appearance.

Containment Fencing: Four (4) foot Containment Fencing shall be straight picket design with three (3) inch wide pickets and two (2) to three (3) inch spacing between pickets. Traditional-style post caps are required. The ARB will also consider the use of black powder coated aluminum as per the specifications.



Locations for Containment Fencing: Containment fencing is permitted on any homesite.

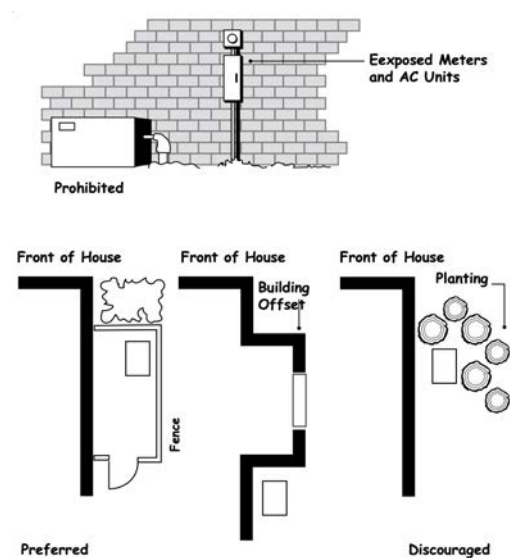
Side yard containment fencing shall begin fifteen (15) feet behind the front plane of the home.

If the fence is visible to other Angeline homesites or common areas, landscape buffering will be required per ARB guidelines. In any case, rear-yard containment fences must be screened from view from the street with landscaping.

SCREENING AND BUFFERING

Water softeners, sprinkler controls, trash containers and other similar utilitarian devices must be fully screened from view and not visible from roadways, adjoining property and common areas. Screening or buffering may be accomplished using walls along with landscape materials or landscape materials alone may be utilized if there is 100% opacity.

Propane tanks and HVAC units shall be shielded and hidden so that they are not readily visible from the street, common areas or adjacent parcels. No window or through-wall air conditioning units shall be installed in any residential unit.



WALLS

Walls will be under scrutiny of the ARB to comply with design compatibility and shall be in keeping with the architectural style and materials used in the neighborhood. Approval of walls by the ARB will be on a case-by-case basis.

Retaining walls will be faced with the same material as the structure it is in contact with or shall be made of compatible materials if it is a freestanding retaining wall. It is recommended that walls be constructed of solid masonry.

No walls will be permitted in the front yard.